



**TORTI
GALLAS
URBAN**

November 7, 2017

WALTER REED - BUILDING IJJ, CONCEPTUAL DESIGN PACKAGE



Board of Zoning Adjustment
District of Columbia
CASE NO.20134
EXHIBIT NO.6E1

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THE PARKS AT WALTER REED

LAND BAY FAR TRANSFER
18-Oct-17

LVL	LAND BAY D		LAND BAY E				LAND BAY F				LAND BAY K.1				
	Building HK*	BUILDING L*	Residential	Building J Retail NON-FAR Loading		Service	Residential	Building O Retail NON-FAR Loading		Service	Residential	Building P Retail NON-FAR Loading		Service	Building VU†
6			57,475 SF				16,863 SF				16,863 SF				
5			59,861 SF				19,940 SF				19,940 SF				
4			59,861 SF				19,940 SF				19,940 SF				
3			58,861 SF				19,940 SF				19,940 SF				
2			59,861 SF				19,940 SF				19,940 SF				
1			6,900 SF	59,500 SF	11,700 SF	7,015 SF	2,100 SF	19,500 SF	4,493 SF	3,968 SF	1,700 SF	23,100 SF	4,410 SF	3,255 SF	
PROPOSED SUBTOTAL GFA	249,038 SF	241,300 SF	302,819 SF	59,500 SF		7,015 SF	98,723 SF	19,500 SF		3,968 SF	98,323 SF	23,100 SF		3,255 SF	356,647 SF
TOTAL UNITS	253 UNITS**	245 UNITS**	310 UNITS				88 UNITS				88 UNITS				350 UNITS
Allocated GFA by use			385,015 SF	120,408 SF			91,470 SF	65,679 SF			86,308 SF	64,379 SF			
PROPOSED TOTAL GFA	249,038 SF	241,300 SF	369,334 SF				122,191 SF				124,678 SF		356,647 SF		
Total allocated GFA	217,785 SF	252,960 SF	451,530 SF				114,938 SF				112,663 SF		330,190 SF		
± PERMITTED GFA / PARCEL	(31,253 SF)	11,660 SF	82,196 SF				(7,253 SF)				(12,015 SF)		(26,457 SF)		
± PERMITTED GFA / BAY	(31,253 SF)		93,856 SF				(19,268 SF)						(26,457 SF)		

NET REMAINING AVAILABLE FOR TRANSFER **16,878 SF** 18 UNITS***

*Assumptions for buildings H,K & L based on draft FAR analysis by Hines dated 3/17/2017

** Unit totals based on 811 average net SQF with an assumed 85% efficiency factor, and reserves ±7,500GSF for an amenity package

***Unit totals based on 811 average net SQF with an assumed 85% efficiency factor

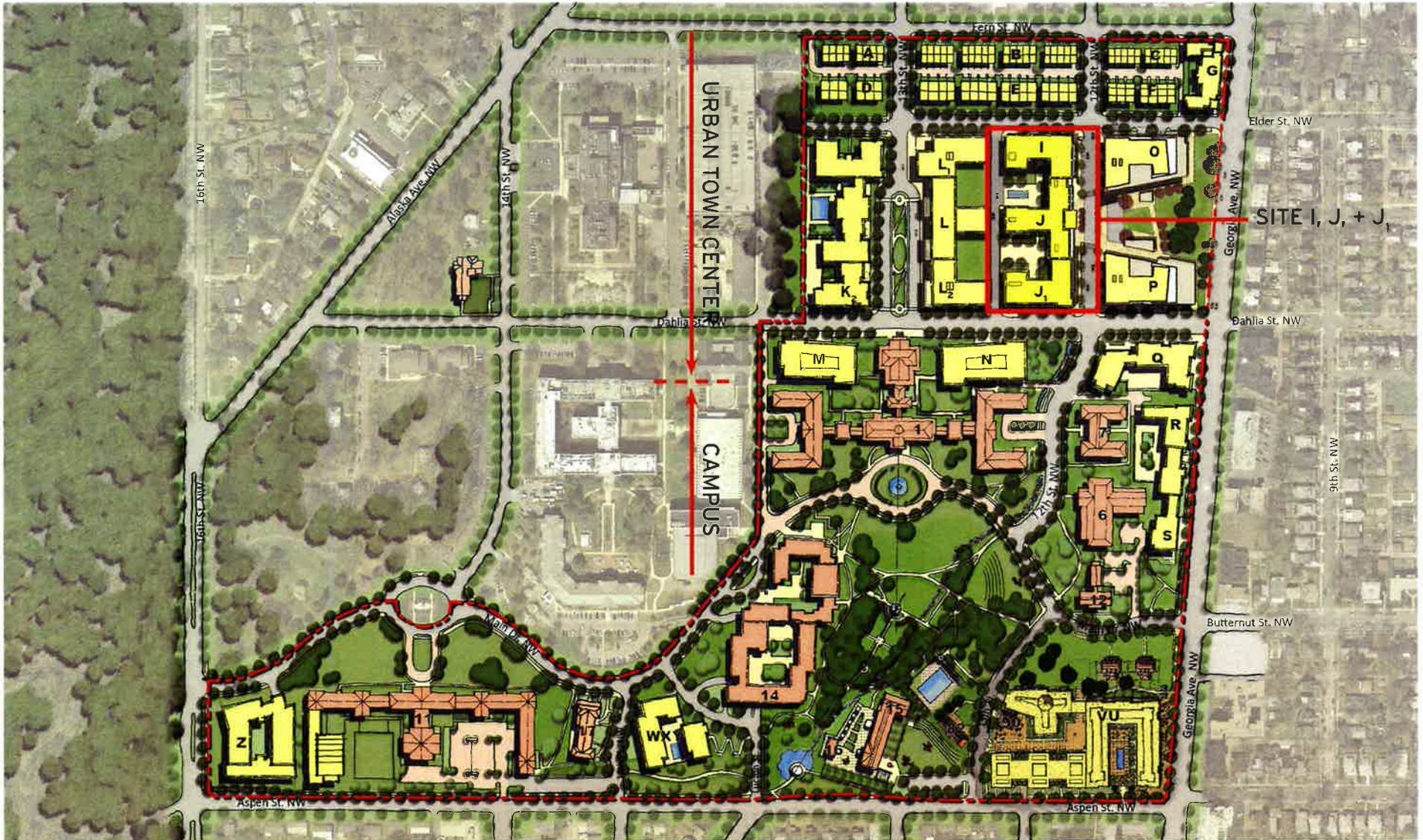
† Building VU unit and GFA totals based on DD set dated July 14, 2017

IJJ₁ PROGRAM

DESCRIPTION	BATHS	NET SQ FT*	UNITS	% MIX
Studio	1	475	16	5%
Jr 1 BR	1	575	22	7%
1 BR	1	690	109	35%
1 BR + Den	1.5	790	47	15%
2 BR	2	940	93	30%
2BR + Den	2.5	1,100	12	4%
3 BR	2.5	1,250	12	4%
TOTAL			311	100%

* Unit net area is defined as the space bounded by the centerline of unit demising walls, outside face of exterior finish, and outside face of corridor wall finish

Hines: 8/8/2017



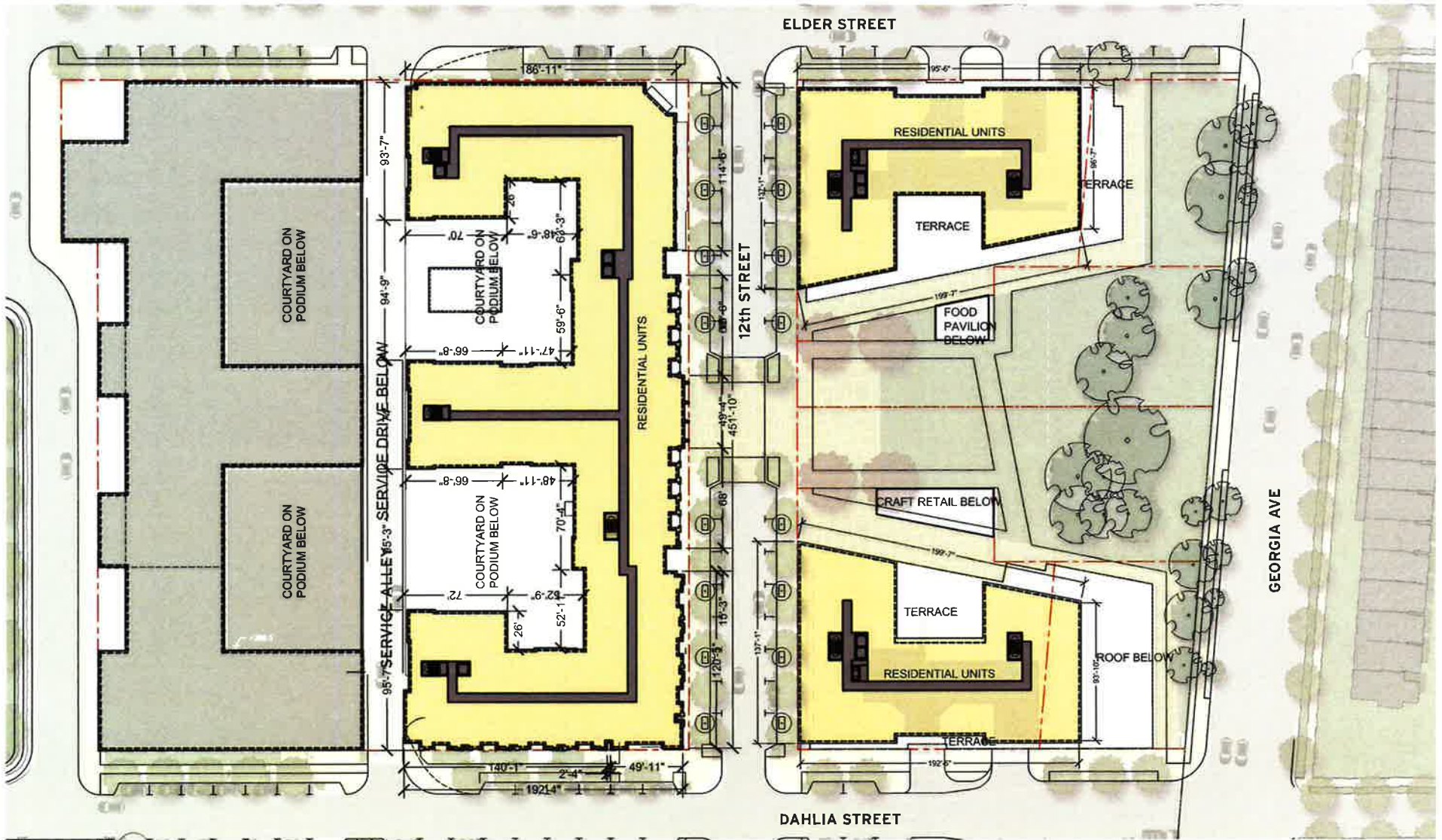
* THIS REPRESENTS AN UPDATE TO THE ORIGINAL MASTERPLAN AS BUILDING FOOTPRINT HAVE CHANGED

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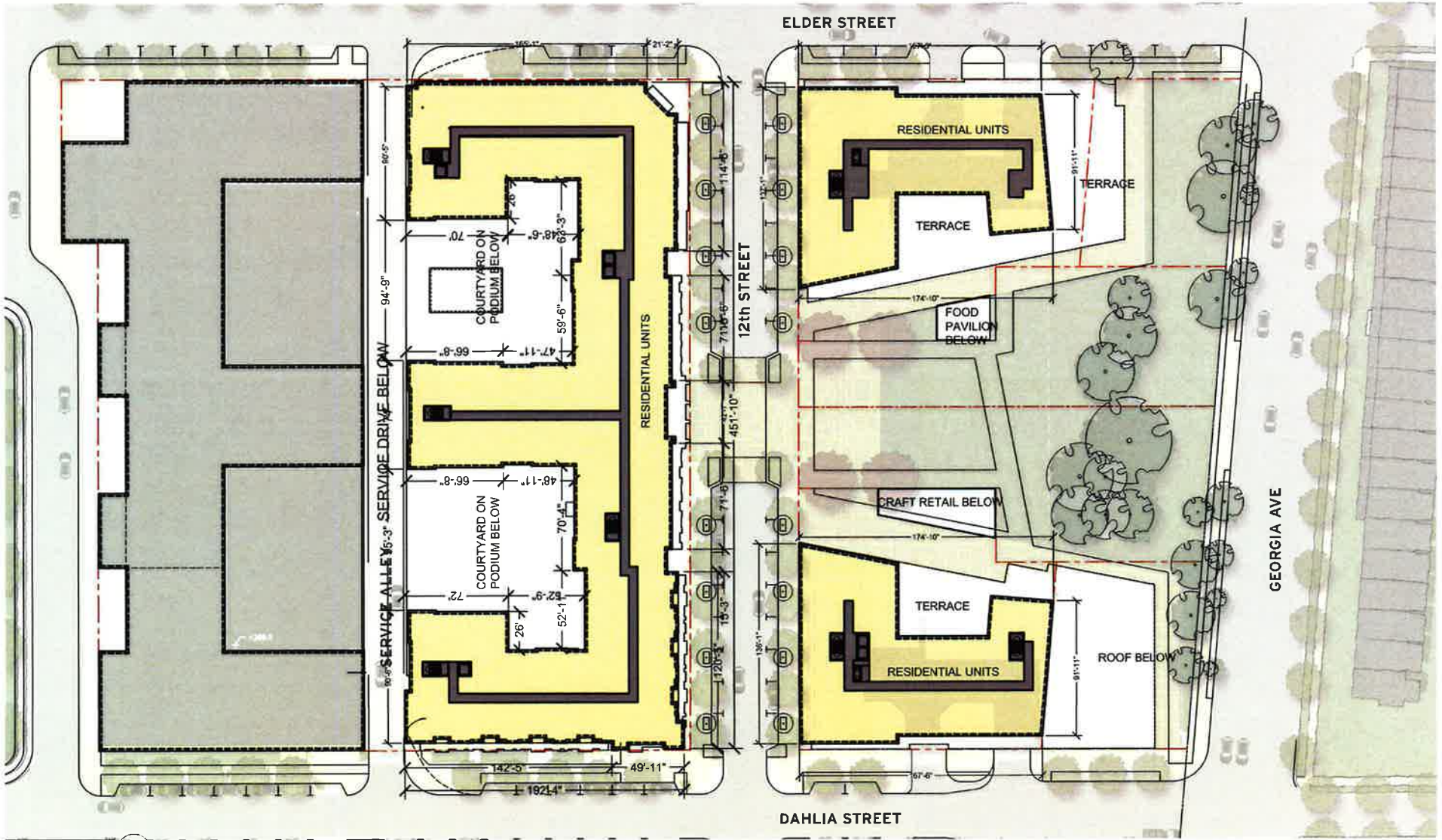


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Conceptual Typical Floor Plan
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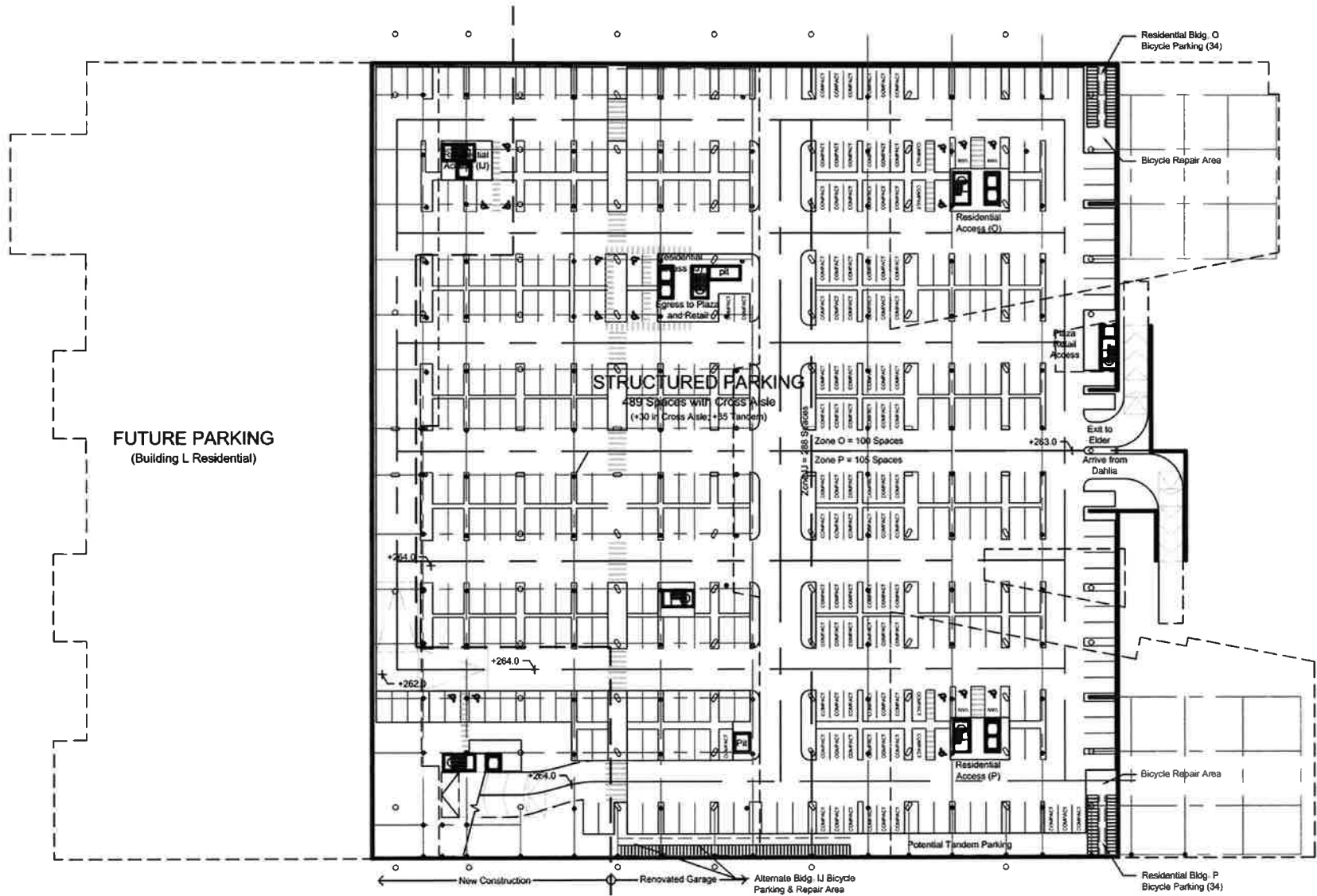


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Conceptual Top Tier Floor Plan
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Conceptual East Elevation
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Dahlia & 12th Streets
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Extended View Along Dahlia Street
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View Along Dahlia Street
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